

CA3 ONHW Q60

84 J151

URBAN/MUNICIPAL

James North heritage
district - possible
zoning modifications



CA30NHW Q60

84 J151

JAMES NORTH HERITAGE DISTRICT

POSSIBLE ZONING MODIFICATIONS

P6-8-4-2

'H' DISTRICT

1. USES

a) Allow dwelling units without the following restrictions:

- i) 1 or 2 dwelling units in the same building with permitted commercial.
- ii) 1 dwelling unit for each 2,000 square feet of lot area provided the building does not exceed 2 storeys and provided the GFA of building used for dwelling units does not exceed the GFA used for commercial.

Purpose - to allow more residential use.

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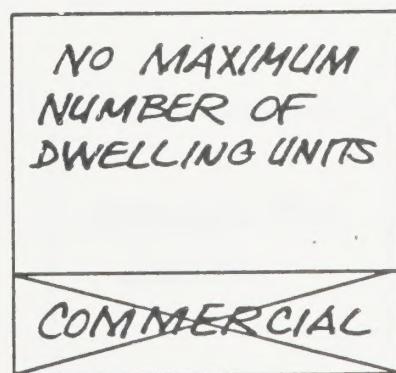
JAN 8 1987

GOVERNMENT DOCUMENTS

i) EXISTING

PROPOSED

PLAN VIEW



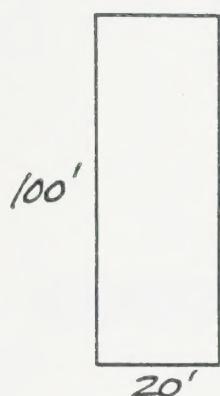


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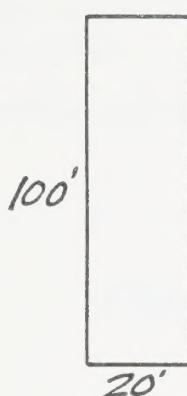
https://archive.org/details/jamesnorthherita00unse_1

ii) EXISTING

PROPOSED



MAXIMUM 1
DWELLING
UNIT
(FOR EACH
2000 SQ. FT.)



NO MAXIMUM
NUMBER OF
DWELLING
UNITS

PLAN VIEW

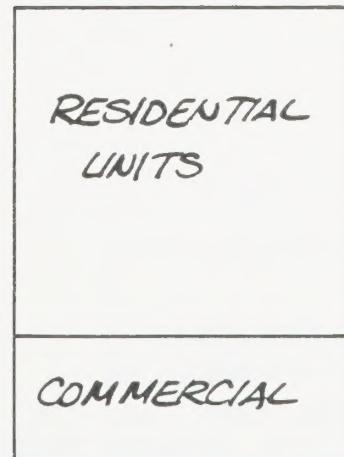
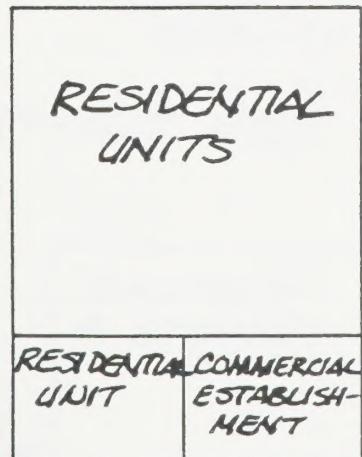
- b) No new dwelling units to be allowed on the first floor frontage of James Street North.

Purpose - to provide continuous non-residential frontage.

EXISTING

PROPOSED

PLAN VIEW



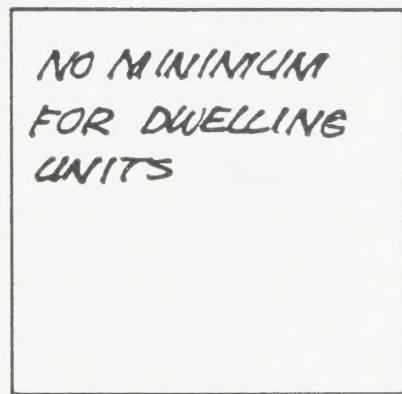
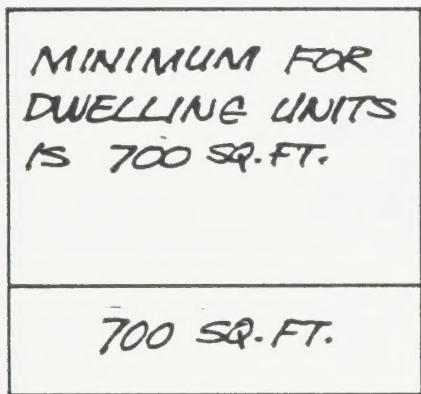
2. AREA REQUIREMENTS FOR RESIDENTIAL CONVERSIONS

- a) Delete the requirement that the new dwelling units have at least 700 square feet of floor area:

Purpose - to encourage residential conversions.

EXISTING

PROPOSED



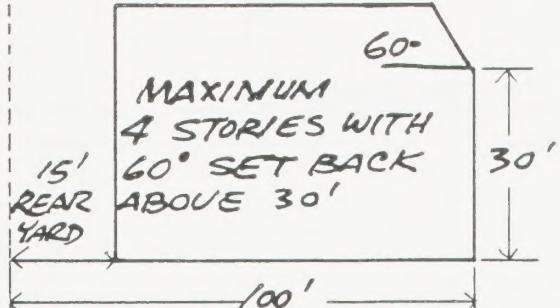
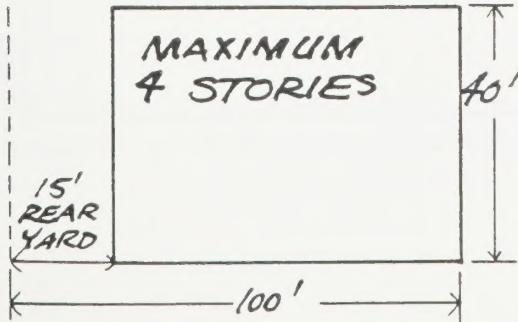
PLAN VIEW

3. HEIGHT

- a) Add 60° angle of set back above 30 feet from the facade of the building.

Purpose - to prevent development overpowering the human scale of the street.

WITHOUT SIDE YARDS



CROSS SECTION

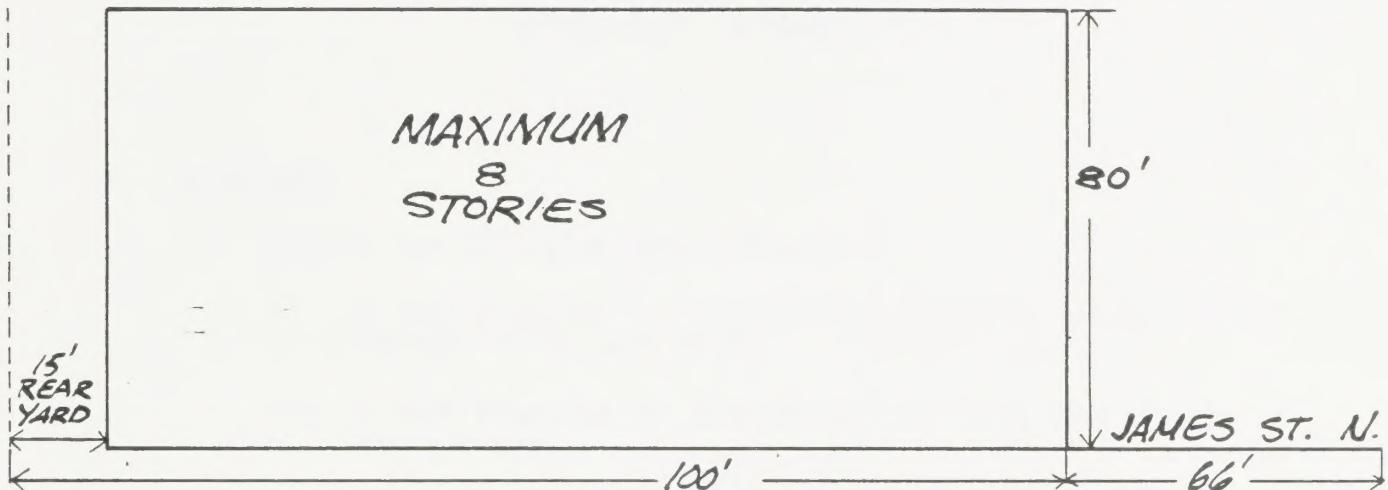
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- a) Add 60° angle of set back above 30 feet from the facade of the building.

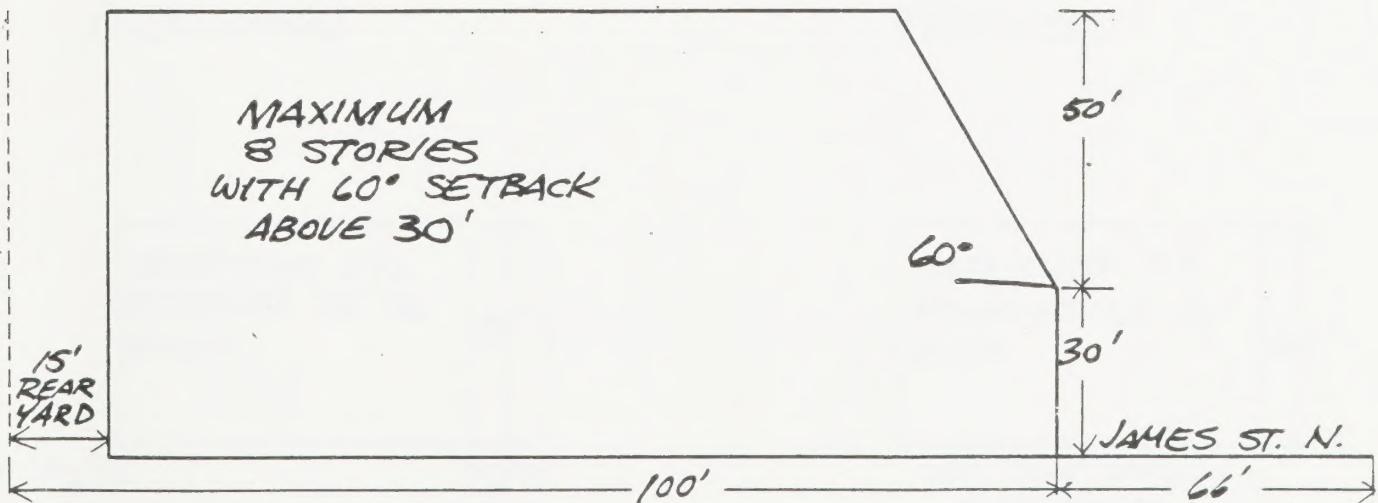
Purpose - to prevent development overpowering the human scale of the street and to allow sunshine to penetrate.

CROSS SECTION

EXISTING WITH 10' SIDEYARDS



PROPOSED



b) Require minimum 2 storey or 20 feet high frontage on James Street North.

Purpose - to provide an urban environment in keeping with street character.

EXISTING

1 STOREY

PROPOSED

MINIMUM
2 STOREY FRONTAGE
OR 20' HIGH

20'

FRONT VIEW

4. SIDEYARDS

a) Delete the following restrictions:

- i) 4 feet sideyard for residential building not over 2 1/2 storeys or 36 feet high.
- ii) 9 feet sideyard for residential building over 2 1/2 storeys high.
- iii) sideyard requirements where adjoining district requires a sideyard.

i) EXISTING

MAXIMUM 2 1/2
STOREYS OR 36'
HIGH

36'

4'
SIDEYARD

PROPOSED

MAXIMUM 2 1/2
STOREYS OR 36'
HIGH

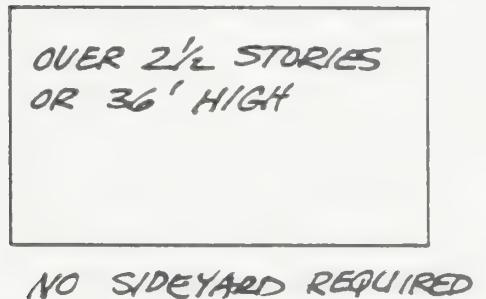
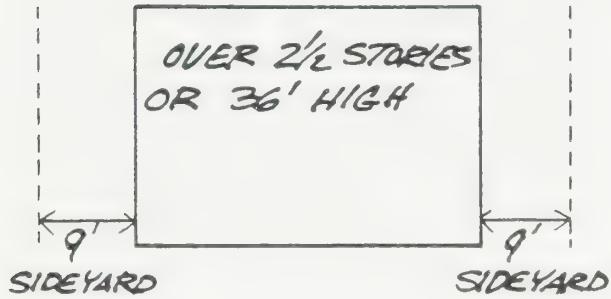
36'

NO SIDEYARDS
REQUIRED

FRONT VIEW

ii) EXISTING

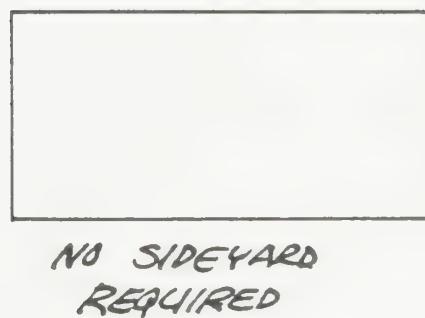
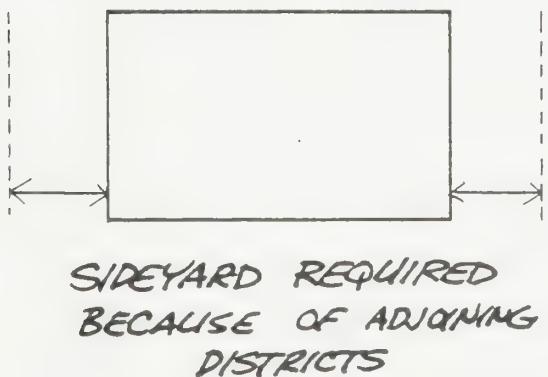
PROPOSED



FRONT VIEW

iii) EXISTING

PROPOSED

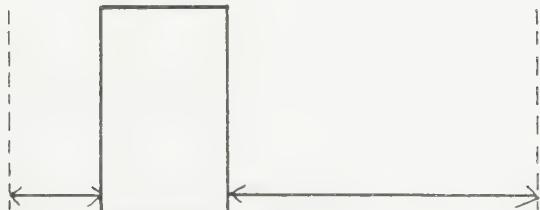


FRONT VIEW

- b) add that no side yard should be greater than 10 feet.

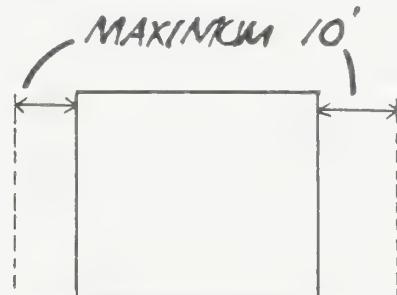
Purpose (a + b) - to encourage a continuous built frontage on James Street North.

EXISTING



SIDEYARDS REQUIRED
(VARYING WIDTHS)

PROPOSED



NO SIDEYARDS
REQUIRED

FRONT VIEW

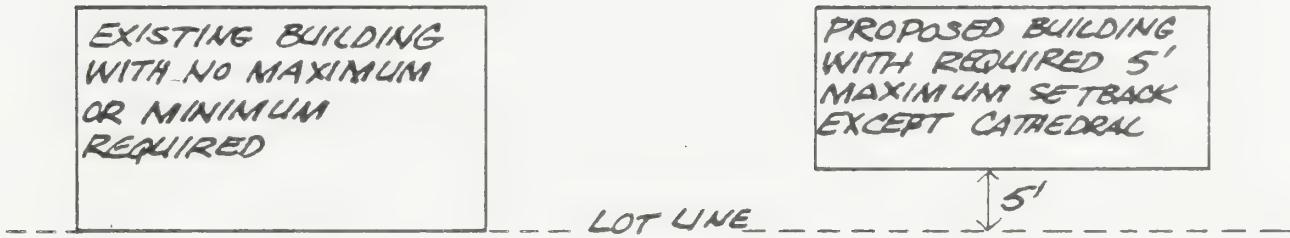
5. FRONT YARDS

- a) Delete the requirement that the depth to be at least as great as that required for lot on same side of street between two intersecting streets.
- b) Add maximum front yard 5 feet (except Cathedral).

Purpose (a + b) - to encourage an urban streetscape in character with existing.

EXISTING

PROPOSED



PLAN VIEW

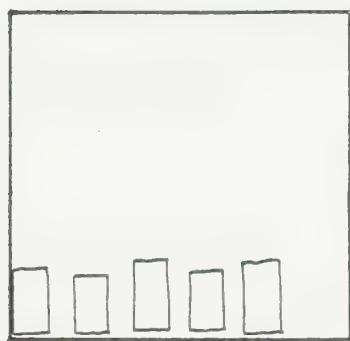
7. PARKING

- a) Add that no parking be permitted within 20 feet of lot line fronting James Street North.

Purpose - to discourage car parks obtruding onto the James North frontage and to discourage demolition of buildings for car parking.

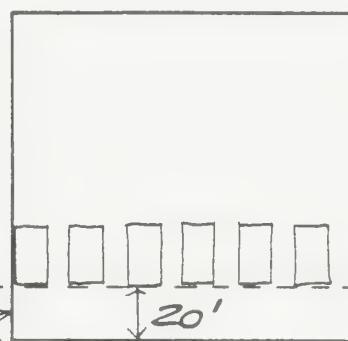
EXISTING

PROPOSED



PLAN VIEW

LOT LINES



20'

- b) Delete 50% parking requirement for commercial conversions between Cannon and Murray and add 0% parking requirement.

- Purpose - to encourage commercial conversions and to be consistent with the south part of the street.

COMMERCIAL
ESTABLISHMENT

50% PARKING
REQUIRED

PLAN VIEW

COMMERCIAL
ESTABLISHMENT

0% PARKING REQUIRED

- c) Delete parking requirements for residential conversions as follows:

i) For multiple dwelling - 0.8 space per dwelling between Wilson and Cannon.

ii) For conversions - 1 space per dwelling (Cannon to Murray).

Purpose - to encourage residential conversion.



RESIDENTIAL
CONVERSION

0.8 SPACE/DWELLING
1.0 SPACE/CONVERSION

PLAN VIEW

RESIDENTIAL
CONVERSION

NO PARKING REQUIREMENTS

'I' DISTRICT

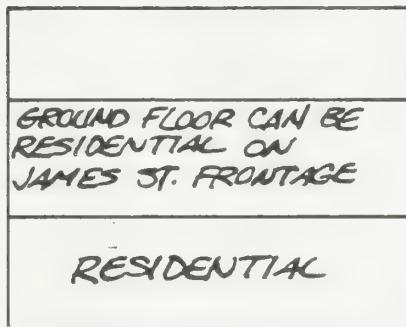
1. USES

- a) No new dwelling units to be allowed on the first floor frontage of James Street North.

Purpose - to provide continuous non-residential frontage

EXISTING

PROPOSED



FRONT VIEW

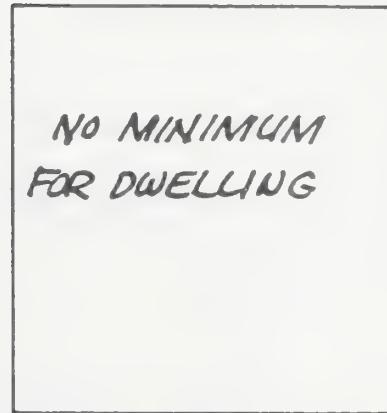
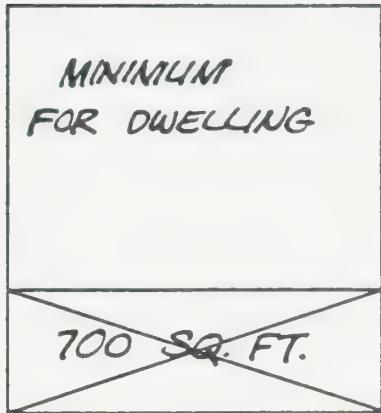
2. AREA REQUIREMENTS FOR RESIDENTIAL CONVERSICNS

- a) Delete the requirement that the new dwelling units have at least 700 square feet of floor area.

Purpose - to encourage residential conversions.

EXISTING

PROPOSED



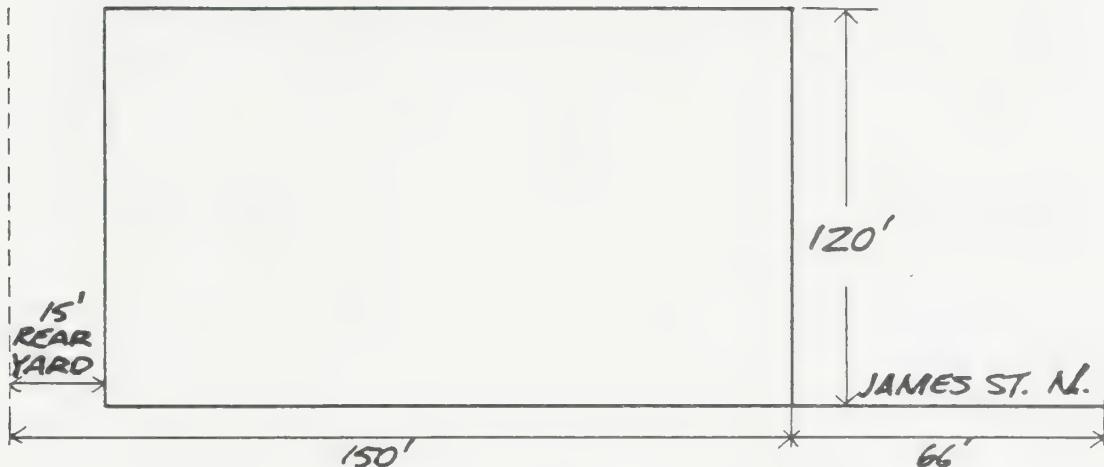
PLAN VIEW

3. HEIGHT

- a) Add an angle of set back of 60° above 60 feet from the facade of the building.

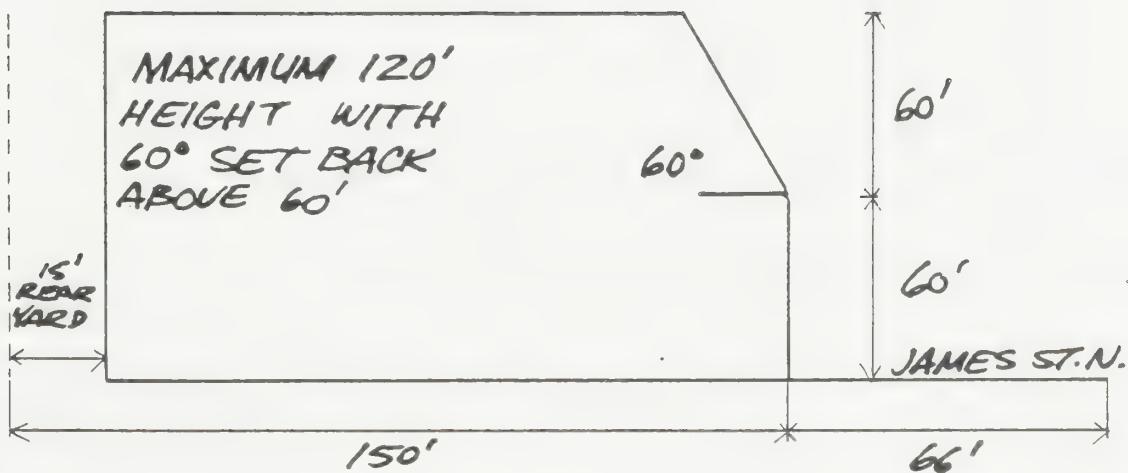
Purpose - to prevent development overpowering the human scale of the street.

EXISTING



CROSS SECTION

PROPOSED

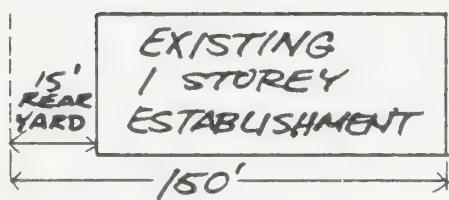


CROSS SECTION

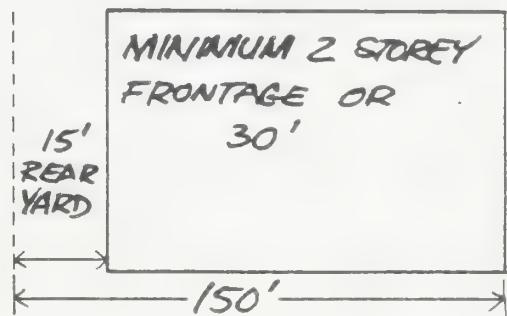
b) Require a minimum 2 storey or 30 feet frontage on James Street North.

Purpose - to provide an urban environment in keeping with street character.

EXISTING



PROPOSED



CROSS SECTION

4. SIDEYARDS

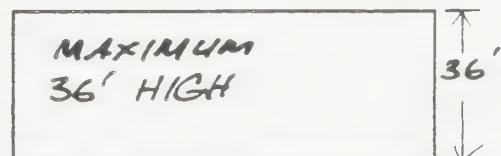
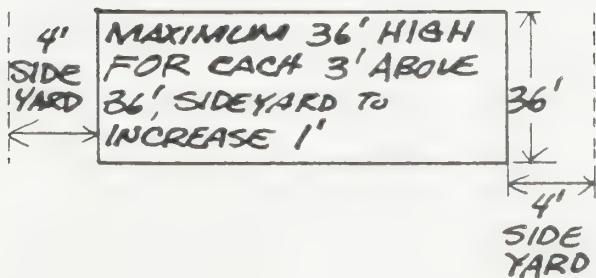
a) Delete the following restrictions:

- i) For residential building not over 36 feet high, sideyard on each lot must be 4 feet. For each 3 feet above 36 feet the side yard to increase by a foot.
- ii) If not residential, sideyard must be same as adjoining district, unless residential when it will be 15' minimum.

a) i) EXISTING

RESIDENTIAL

PROPOSED

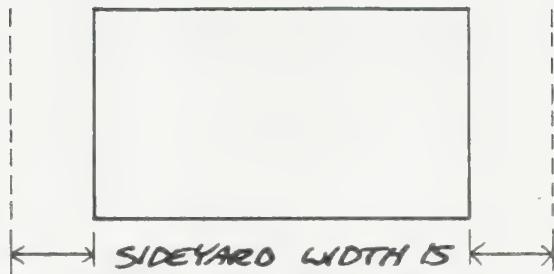


FRONT VIEW

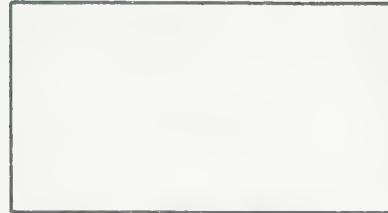
ii) EXISTING

NON-RESIDENTIAL

PROPOSED



SIDEYARD WIDTH IS
SAME AS ADJOINING
DISTRICT OR 15'
MINIMUM



NO SIDEYARDS
REQUIRED

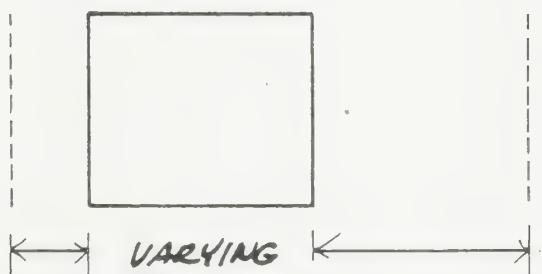
FRONT VIEW

- b) Add that no sideway should be greater than 10 feet.

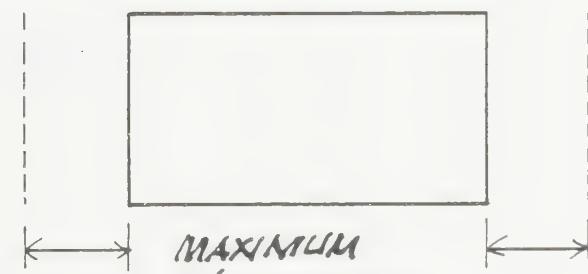
Purpose (a = b) - to encourage a continuous built frontage on James Street North.

EXISTING

PROPOSED



VARYING
SIDEYARD
WIDTH



MAXIMUM
10' SIDEYARDS

FRONT VIEW

5. FRONT YARDS

- a) Delete the requirement that the depth to be at least as great as that required for lot on same side of street between two intersecting streets.
- b) Add maximum front yard 10 feet.

Purpose (a + b) - to encourage an urban streetscape in character with existing.

EXISTING

**EXISTING BUILDING
WITH NO MAXIMUM
OR MINIMUM
DEPTH REQUIRED**

PROPOSED

**PROPOSED BUILDING
WITH REQUIRED 10'
MAXIMUM SETBACK**

10'

LOT LINE

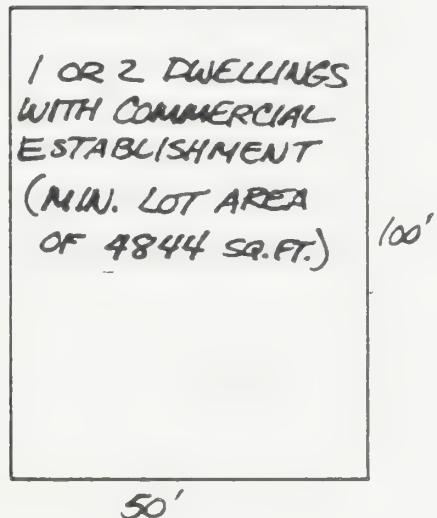
PLAN VIEW

6. INTENSITY OF USE

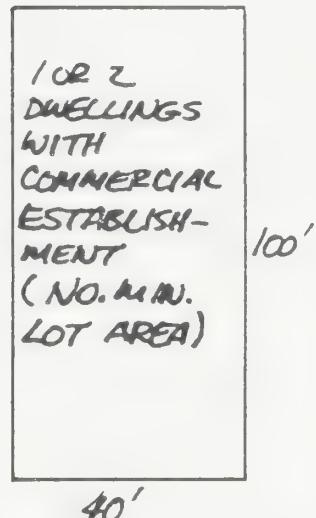
- a) Delete requirement that multiple dwelling erected, converted or reconstructed must have 50 feet width and 4,844 square feet lot area.

Purpose - to encourage residential development.

EXISTING



PROPOSED



PLAN VIEW

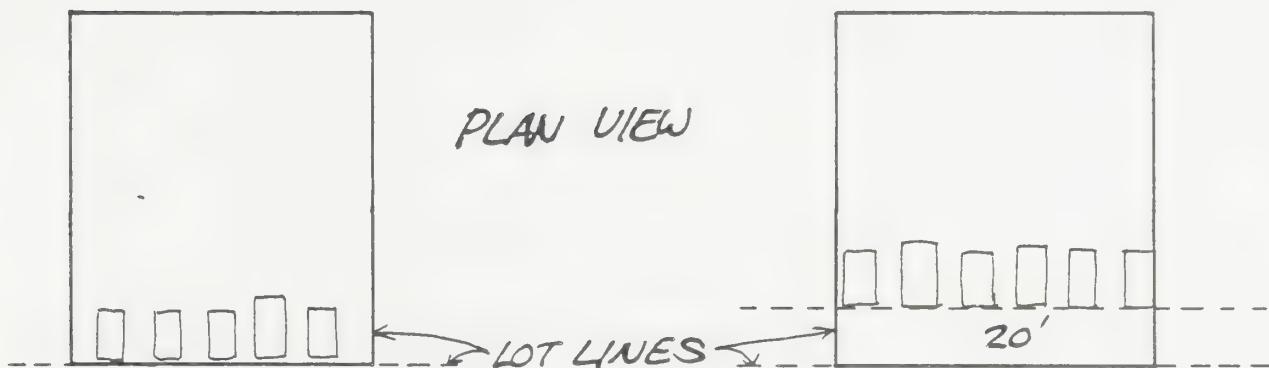
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Purpose - to discourage car parks obtruding onto the James North frontage and to discourage demolition of buildings for car parking.

EXISTING

PROPOSED

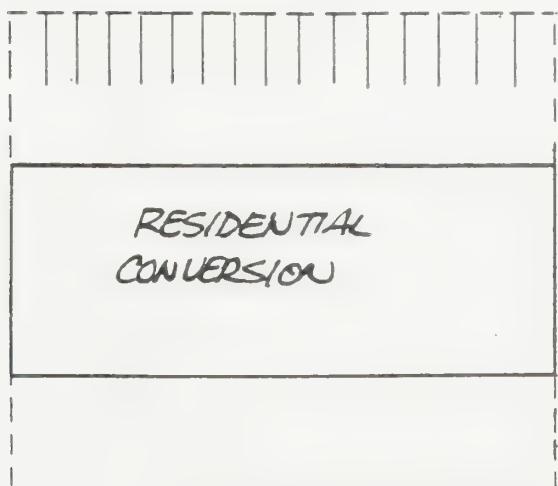


- b) Delete parking requirements for residential conversions to multiple dwellings which require .8 space per dwelling.

Purpose - to encourage residential conversion.

EXISTING

PROPOSED



0.8 SPACE / DWELLING

NO PARKING REQUIREMENTS

PLAN VIEW

SITE PLAN CONTROL

- Add site plan control (Section 40 of the Planning Act) to H and I District.
- This means all new development except minor additions has to be approved by the Planning and Development Committee. Only the owner can appeal to the Ontario Municipal Board.
- Site Plan Control controls the following only:
 - highway widenings (not applicable on James Street North)
 - accesses
 - on-site loading and parking
 - walkways and pedestrian access
 - lighting
 - landscaping
 - garbage facilities
 - easements for utilities
 - grading
 - massing and conceptual design
 - relationship of buildings
 - interior walkways
- Site plan control ensures satisfactory site layout and gives the opportunity to the City and James North Community to discuss proposals and bring to the attention of the owner the James North Heritage District Plan and its goals.

DG:jd
W.P. 0026P



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25074 -	GREY / GRIS	- BD2507
25073 -	R. BLUE / BLEU R.	- BB2507
25079 -	X. RED / ROUGE X.	- BX2507
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